

# MULTIMODAL ACCESS CLOSURE EXCEPTION APPLICATION FORM AND CHECKLIST

**Submittal Date:** 3.7.25 ☒ **New Submittal** ☐ **Re-Submittal No:** \_\_\_\_\_

**Related Building Permit No:** 2024037805 (Grading) 2024057024 (Building)

**Project Name:** Belle Meade Hill Center Access Improvement

**Street Name Location:** 4314 Harding Pike

**Between:** Kenner **And:** Bosley Springs

**Applicant Name:** Turner Construction

**Address:** 624 Grassmere Park Dr Nashville, TN

**Phone:** 615.278.8556 **Fax:** na **Contact:** Cody Tollison

**Email:** ctollison@tcco.com

**Project Description:** Intersection Upgrades and utility tie ins

**Start Date:** 3.24.25 **End Date:** 8.19.25 **Project Length:** 6 months

**Describe Type of Closure:** 3 Phase closures affecting traffic on Harding.  
Phases will effect east and west bound lanes separately to maintain  
flow. Crossings to be done at night.

**Provide Reasons why Project cannot be completed without closures and what other options were considered (attach documents as needed):** Utility tie ins are  
in Harding. New islands are in Harding.

---

## PROJECT INFORMATION CHECKLIST:

Included   Not Applicable

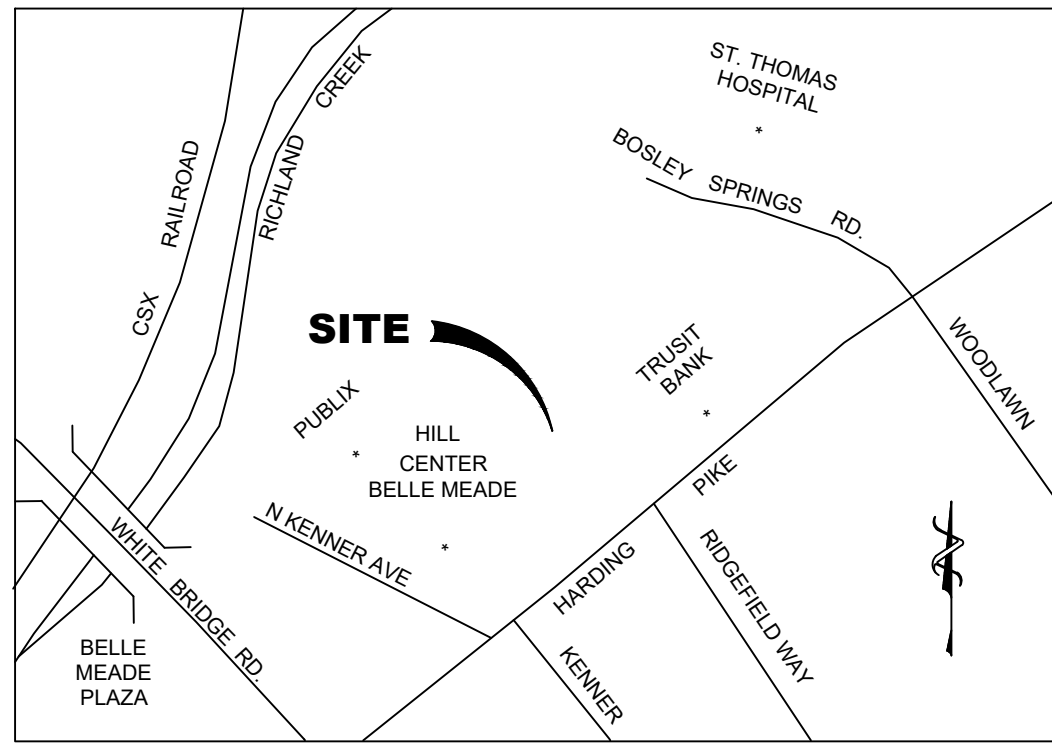
- |                                     |                                     |  |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Project Vicinity Map with Project Area shown, street names, property information, existing pavement and striping, gutter and building locations, north arrow, and scale. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Planned work hours included.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Exact location and dimensions of the construction work zone shown.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | If multiple phases are necessary, include perimeter impact of each phase, phase number, anticipated work hours and phase duration.                                       |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Details on construction activity and equipment being used as part of construction included for each phase.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Specify if any on-street parking, and/or metered parking, is to be restricted and if bus zone will need to be relocated.   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Specify if trash pickup will be impacted.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Provide information on all utility work and utility connections.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | List all affected residents, businesses, agencies, and schools and any conversations/agreements taken place.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Show ongoing construction projects within vicinity of proposed project impact.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Provide plan to address conflicts with other nearby projects.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Provide traffic control plan for each phase of construction (see traffic control checklist for more information).  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Provide information on work vehicle parking locations.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Show construction trucks ingress/egress to project location.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Provide information on any traffic signals, traffic signal loops, and traffic signal cabinets in close proximity to project.   |

## TRAFFIC CONTROL PLAN CHECKLIST:

Included   Not Applicable

- |                                     |                          |   |
|-------------------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | All temporary traffic control plans shall be designed in accordance with the most recent ADA regulations and requirements of the Manual of Uniform Traffic Control Devices. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Clearly show the locations of all existing signs (including speed limit) as well as the proposed signs for each construction phase.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Show the location of all existing pedestrian paths and pedestrian detour route of each stage of construction.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Show dimensions of travel lane width, shoulder width, sidewalk of each phase, and overall roadway width along the length of affected area.                                  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Show all existing striping and markings to remain, to be removed, and all proposed striping and markings for each construction stage.                                       |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Provide detour plan clearly showing detour route for any roadway or pedestrian/bike path closures.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Specify placement of all temporary traffic control devices.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Specify spacing of all temporary traffic control devices.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Show all existing traffic signals and streetlights in the work zone location.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Lighting provided for all pedestrian detour routes.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Provide minimum eleven (11) foot travel lanes at all times.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Show size, height, and location of all channelizing devices, warning lights, flag trees, barriers, etc.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Label all taper lengths and widths.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Provide locations of police officers for each phase as needed.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Temporary Traffic Control Plan has been stamped and signed by a TN licensed Civil Engineer.   |





**VICINITY MAP**  
NOT TO SCALE

FEMA DATA FOR PROJECT LOCATION:  
FEMA FLOOD ZONE: "X" & "AE"  
FEMA MAP PANEL NUMBER: 47037C0238J  
FEMA MAP EFFECTIVE DATE: 02/25/2022  
THE 100 YEAR BASE FLOOD ELEVATION (BFE) = XXX.XX  
DATUM = NAVD 1988.



**GRADING PERMIT: SWGR 2024037805**

**24WL0067**

EXISTING PAVEMENT AND CURB TO BE REMOVED; REPLACE WITH GRASS AND LANDSCAPING (SPECIES TO BE DETERMINED)

PARCEL ID#10315001400  
INST. #:20250114-0002863  
R.O.D.C., TN  
HILL CENTER AT  
BELLE MEADE, LLC

IMPROVE INTERSECTION OF KENNER AVE AND HARDING PIKE TO HAVE A CONCRETE MEDIAN AND KENNER AVE TO BECOME RIGHT-IN-RIGHT-OUT ONLY (REFER TO TRANSPORTATION PLANS FOR DESIGN & DETAILS)

STOP BAR TO HAVE MIN. 4' SPACING FROM CROSS WALK

INSTALL A TRAFFIC LIGHT AND IMPROVE INTERSECTION OF HARDING PIKE AND RIDGEFIELD WAY (REFER TO TRANSPORTATION PLANS FOR DESIGN & DETAILS)

**BUILDING PAD C1a**  
2,110 SF

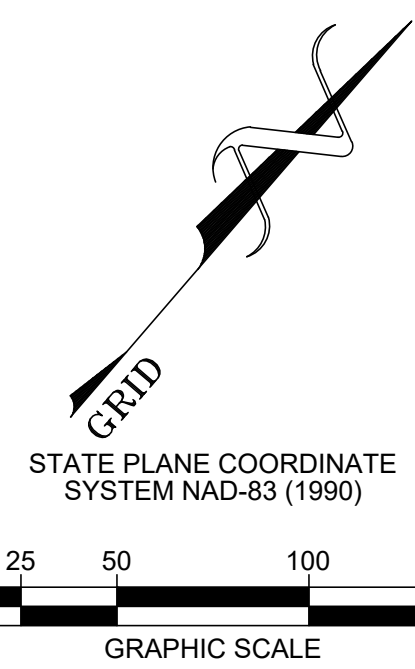
**PATIO**  
2,580 SF

**BUILDING PAD C1b**  
5,160 SF

**FUTURE BUILDING "D"**  
1,080 SF

**FUTURE BUILDING "C2"**  
3,730 SF

EXISTING RAMP TO REMAIN PER EASEMENT WITH ST THOMAS ACCESS TO BE CLOSED IN FUTURE WITH STANDARD NDOT SIDEWALK, CURB AND GUTTER.



6608 CHARLOTTE PIKE, STE 210, NASHVILLE, TN 37209  
615.506.9911 • BCAnet.com  
BCA FILE NO. 1006-120

**OVERALL SITE PLAN**

**HILL CENTER BELLE MEADE**

**ACCESS IMPROVEMENT**

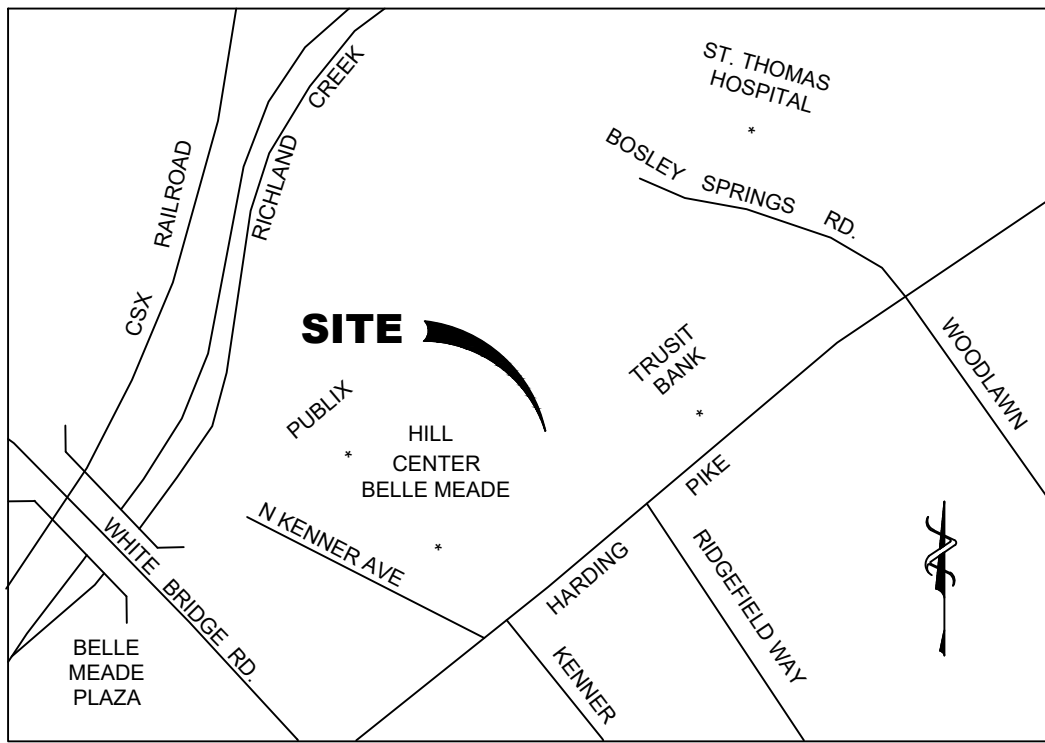
4314 HARDING PIKE NASHVILLE, TENNESSEE 37205

DATE	DESCRIPTION
02-07-2025	CONSTRUCTION DOCUMENTS

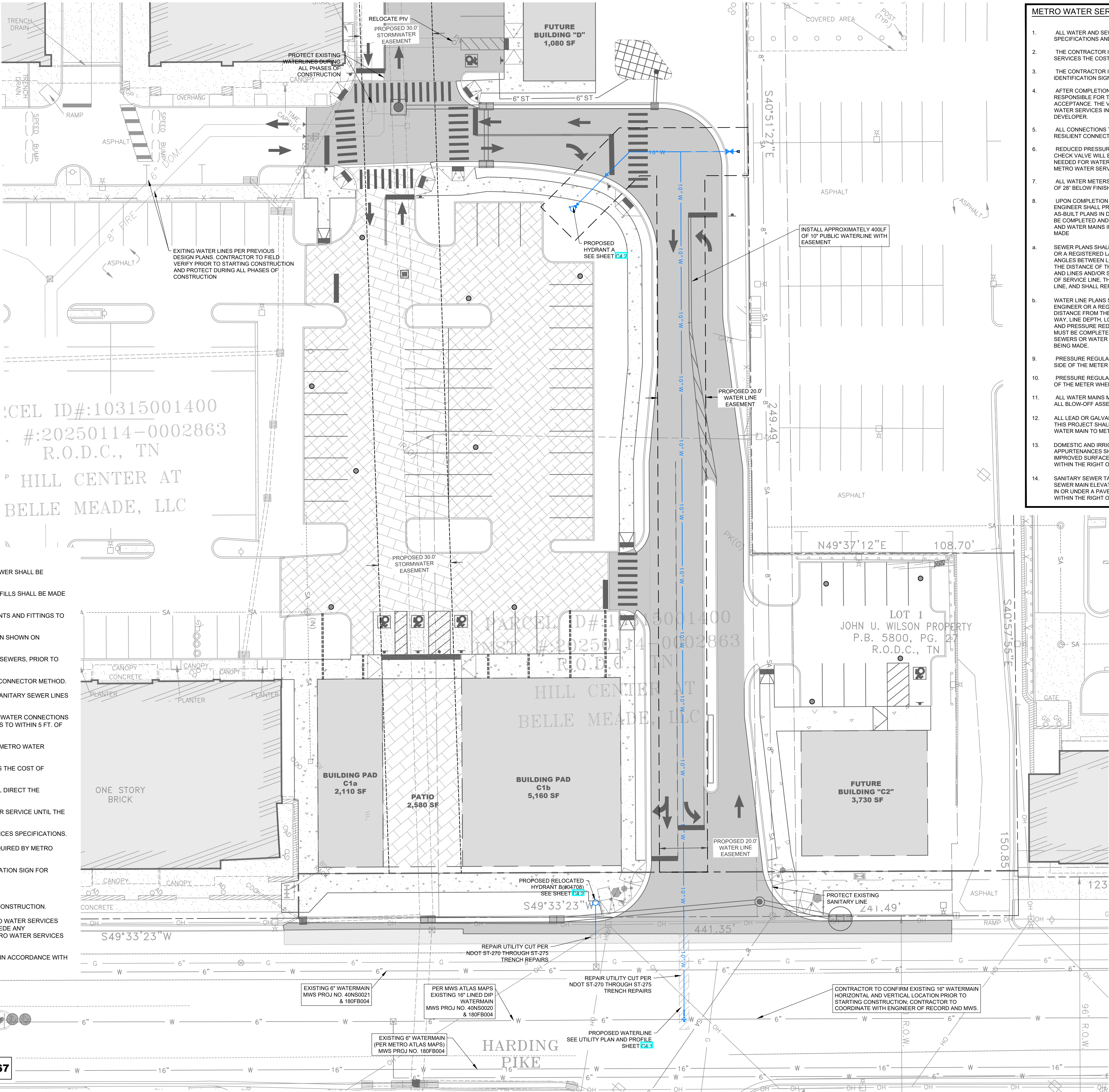
**C1.0**

BCA JOB NO. 1006-120





VICINITY MAP  
NOT TO SCALE



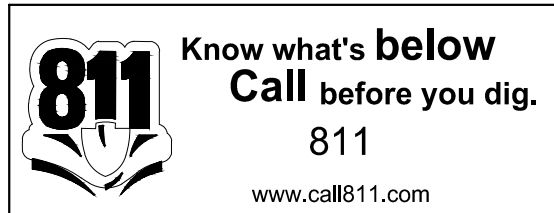
UTILITY NOTES:

- WHERE UTILITY LINES PASS OVER OR WITHIN 2.5 FEET OF WATER MAINS, THE SEWER SHALL BE ENCASED IN CONCRETE.
- ALL PAVED AREAS SHALL BE CONSTRUCTED TO SUBGRADE AND ALL PROPOSED FILLS SHALL BE MADE AND COMPACTED PRIOR TO CONSTRUCTION OF SANITARY SEWER.
- CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL BENDS, JOINTS AND FITTINGS TO CONSTRUCT UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR ANY FEES ASSOCIATED WITH CONSTRUCTION SHOWN ON DRAWINGS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES, INCLUDING SEWERS, PRIOR TO CONSTRUCTION.
- ALL CONNECTIONS TO EXISTING MANHOLE(S) SHALL BE CORING AND RESILIENT CONNECTOR METHOD.
- A MINIMUM OF 4' GROUND COVER SHALL BE MAINTAINED OVER ALL PROPOSED SANITARY SEWER LINES AND WATER LINES.
- SEE MECHANICAL DRAWINGS FOR EXACT LOCATIONS OF SEWER CONNECTIONS, WATER CONNECTIONS AND GAS CONNECTIONS. UTILITY CONTRACTOR TO INSTALL PROPOSED UTILITIES TO WITHIN 5 FT. OF BUILDING LINE.
- ALL SEWER INSTALLATION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS OF METRO WATER SERVICES.
- THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING METRO WATER SERVICES THE COST OF INSPECTION.
- AFTER COMPLETION OF THE SANITARY SEWER(S), METRO WATER SERVICES WILL DIRECT THE TELEVISIONING OF THE LINES PRIOR TO FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL MAINTAIN UNINTERRUPTED DOMESTIC AND FIRE WATER SERVICE UNTIL THE NEW SYSTEM HAS BEEN COMPLETED, TESTED AND APPROVED.
- INSPECTION CLEANOUTS TO BE INSTALLED ACCORDING TO METRO WATER SERVICES SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SEWER CUT SHEETS AS REQUIRED BY METRO WATER SERVICES.
- THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
- MAIN LINE SEWER TAPS WILL BE MADE BY METRO WATER SERVICES.
- COORDINATE MAINLINE WATER TAPS WITH METRO WATER SERVICES PRIOR TO CONSTRUCTION.
- ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH METRO WATER SERVICES DESIGN SPECIFICATIONS, METRO WATER SERVICES REQUIREMENTS TO SUPERSEDE ANY SPECIFICATIONS PROVIDED. CONTRACTOR SHALL BE KNOWLEDGEABLE OF METRO WATER SERVICES REQUIREMENTS PRIOR TO BIDDING.
- CONTRACTOR TO PROVIDE CONCRETE ANCHORS ON WATER AND SEWER MAINS IN ACCORDANCE WITH METRO WATER SERVICES.

METRO WATER SERVICES UTILITY NOTES:

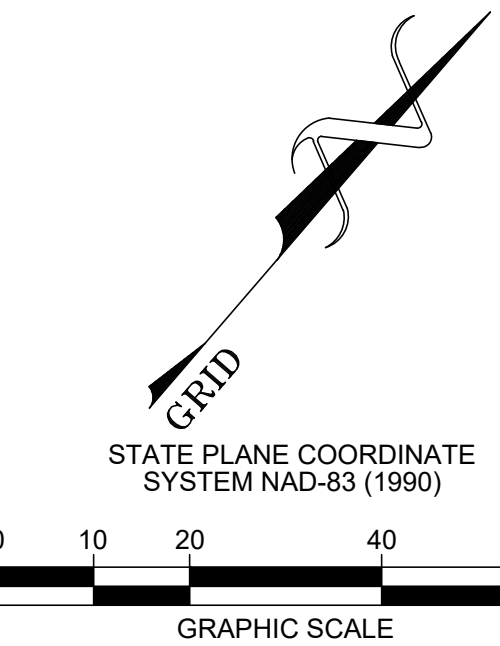
- ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
- THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO WATER SERVICES THE COST OF INSPECTION.
- THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
- AFTER COMPLETION OF THE SANITARY SEWER, THE DEVELOPER IS RESPONSIBLE FOR THE TELEVISIONING OF THE LINES PRIOR TO FINAL ACCEPTANCE. THE VIDEO TAPING MUST BE COORDINATED WITH THE METRO WATER SERVICES INSPECTION SECTION. ALL COSTS WILL BE BORNE BY THE DEVELOPER.
- ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
- REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO WATER SERVICES.
- ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED MAXIMUM OF 28" BELOW FINISHED GRADE.
- UPON COMPLETION OF CONSTRUCTION OF WATER AND/OR SEWER, THE ENGINEER SHALL PROVIDE THE DEPARTMENT WITH A COMPLETE SET OF AS-BUILT PLANS IN DIGITAL (DWG AND PDF) FORMAT. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS AND WATER MAINS INTO THE PUBLIC SYSTEM AND ANY CONNECTION BEING MADE.
- SEWER PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE ACTUAL FIELD ANGLES BETWEEN LINES, ALL ACTUAL SERVICE LINES AND TEE LOCATIONS, THE DISTANCE OF THE END OF THE SERVICE LINE TO PROPERTY CORNERS AND LINES AND/OR STATION AND OFFSET FROM SEWER CENTERLINE TO END OF SERVICE LINE, THE DEPTH TO THE TOP OF THE END OF THE SERVICE LINE, AND SHALL REFLECT ALL ALIGNMENT AND GRADE CHANGES.
- WATER LINE PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE OFFSET DISTANCE FROM THE ROADWAY CENTERLINE, OR PROPERTY LINE RIGHT OF WAY, LINE DEPTH, LOCATIONS OF HYDRANTS, VALVES, REDUCERS, TEES AND PRESSURE REDUCING DEVICES WHERE APPLICABLE. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS OR WATER MAINS INTO THE PUBLIC SYSTEM AND AN CONNECTIONS BEING MADE.
- PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSI.
- PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.
- ALL WATER MAINS MUST BE LOCATED WITHIN THE PAVED AREA INCLUDING ALL BLOW-OFF ASSEMBLIES.
- ALL LEAD OR GALVANIZED WATER LINE SERVICE LINES ENCOUNTERED WITH THIS PROJECT SHALL BE REINSTATED WITH COPPER OF LIKE SIZE FORM WATER MAIN TO METER BOX.
- DOMESTIC AND IRRIGATION WATER METERS AND ASSOCIATED APPURTENANCES SHALL NOT BE PLACED IN OR UNDER A PAVED OR IMPROVED SURFACE OTHER THAN THE PORTION OF THE SERVICE LOCATED WITHIN THE RIGHT OF WAY.
- SANITARY SEWER TAPS SHALL BE PLACED AT THE LOWEST ADJACENT SEWER MAIN ELEVATION FOR EACH PREMISES AND SHALL NOT BE LOCATED IN OR UNDER A PAVED OR IMPROVED SURFACE OTHER THAN THE PORTION WITHIN THE RIGHT OF WAY.

NOTE:  
WITH THE REMOVAL OF ANY EXISTING WATER LINES AND METERS; CUT AND CAP EXISTING WATERLINES AT WATERMAIN



GRADING PERMIT: SWGR 2024037805

24WL0067



BCA  
BARGE CIVIL  
ASSOCIATES

6608 CHARLOTTE PIKE, STE  
210, NASHVILLE, TN 37209  
615.506.9911 • BCAnet.com  
BCA FILE NO. 1006-120

H.G. HILL  
REALTY COMPANY, LLC

JOHN R. GORE  
REGISTERED ENGINEER  
AGREEMENT  
NO. 10895  
STATE OF TENNESSEE  
02/07/2024

UTILITY PLAN

HILL CENTER BELLE MEADE  
ACCESS IMPROVEMENT

4314 HARDING PIKE NASHVILLE, TENNESSEE 37205

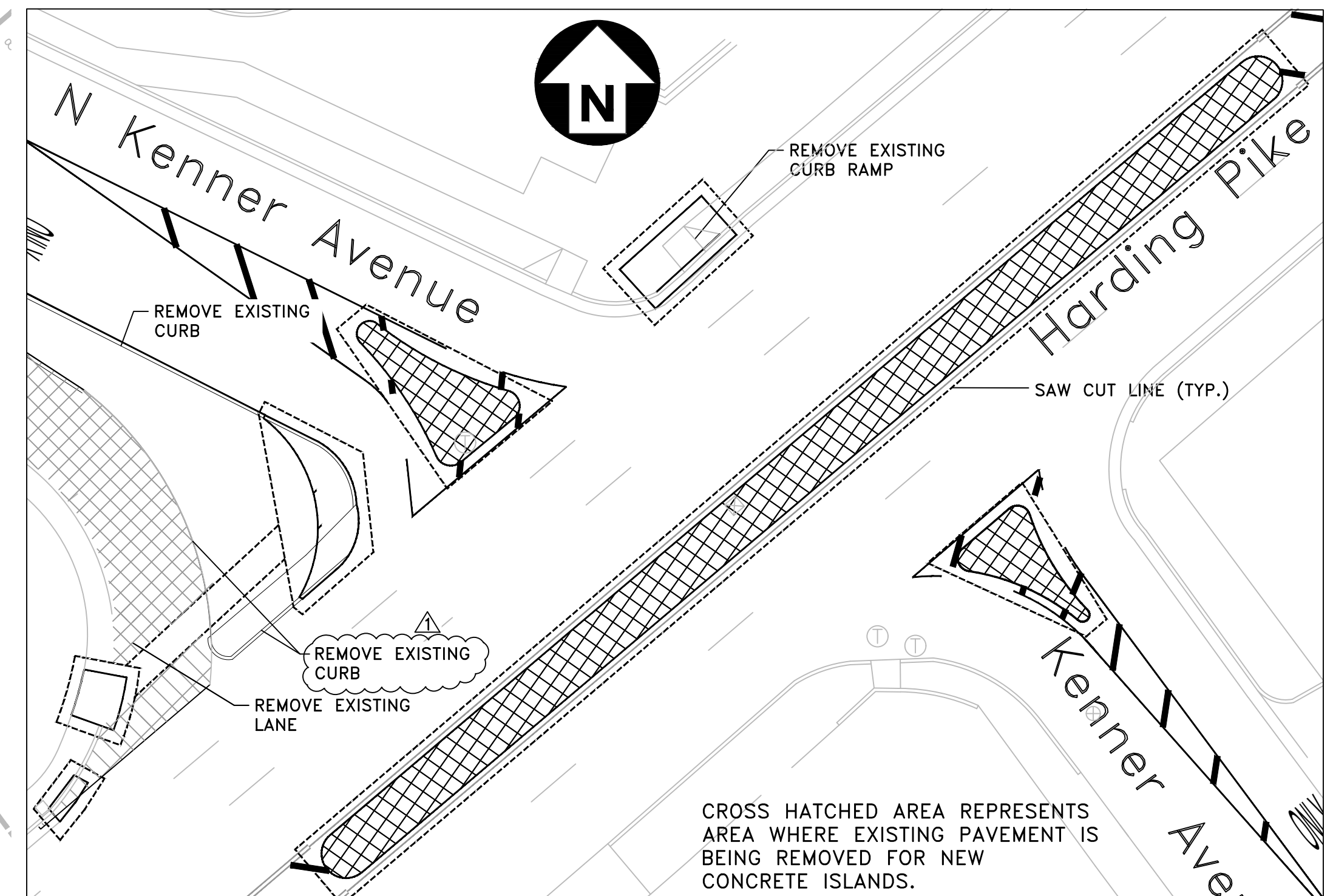
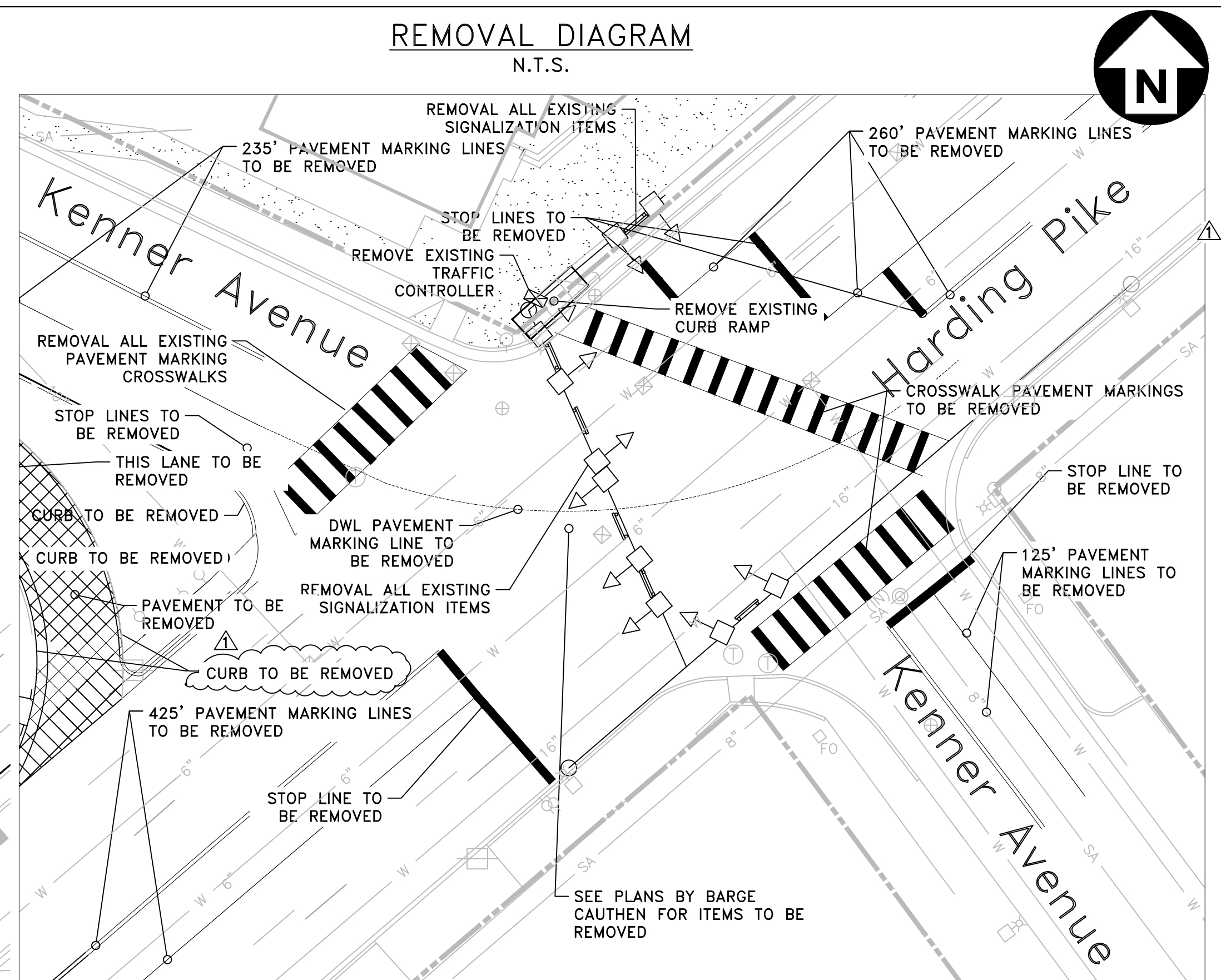
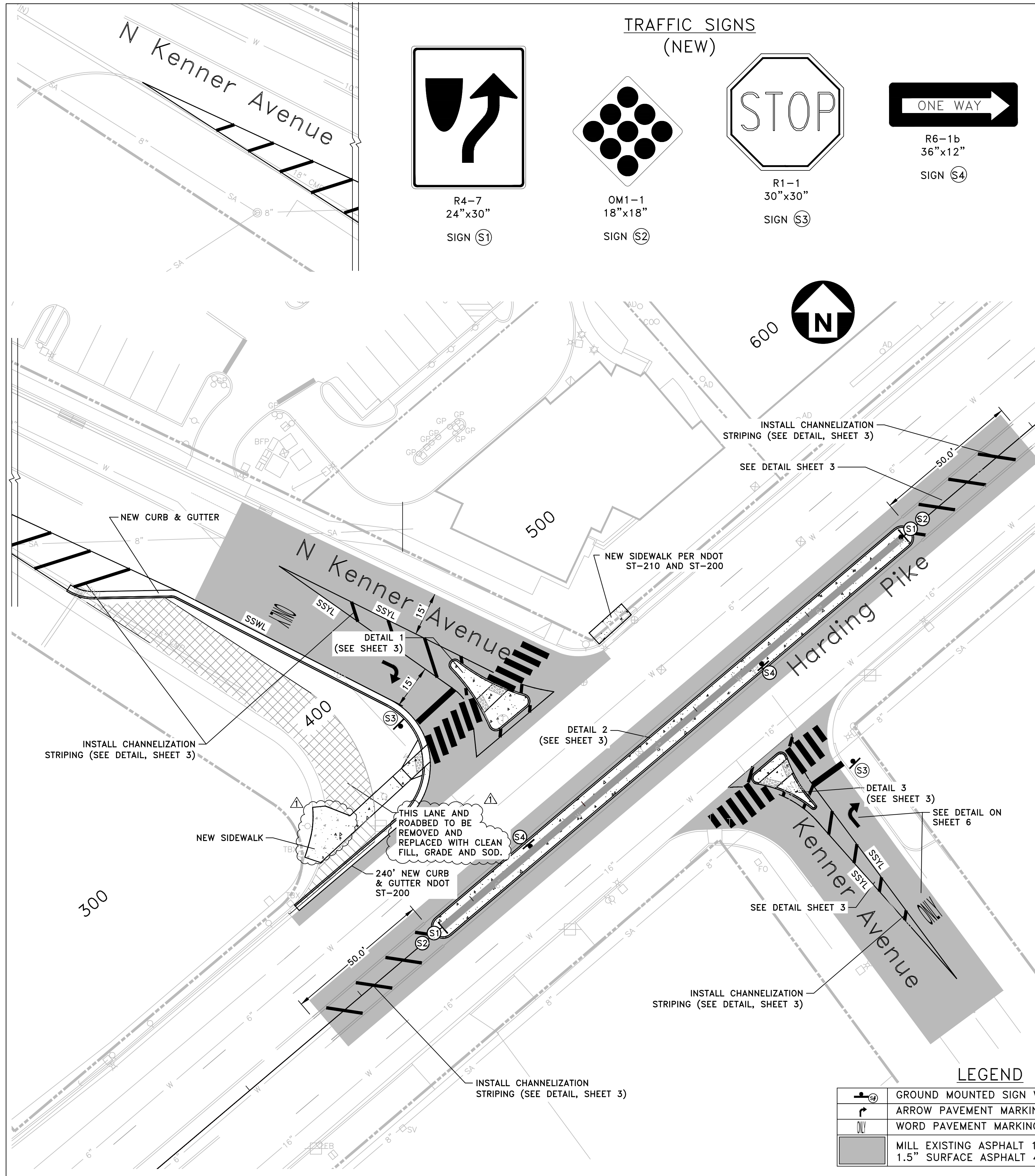
DATE	DESCRIPTION
02-07-2025	CONSTRUCTION DOCUMENTS

C4.0

BCA JOB NO. 1006-120

P:\1006-HG Hill\1006-120 Harding Town CD\DWG\C4-UTILITY-1006-120.dwg-c4-UTILITIES





SPECIAL NOTE:  
THE BASE SURVEY AND DESIGN INFORMATION FOR ROADWAY AND UTILITIES PRESENTED ON THIS PLAN WERE PROVIDED TO KCI TECHNOLOGIES, INC. BY BARGE CAUTHEN. WHERE AVAILABLE, BASE INFORMATION HAS BEEN SUPPLEMENTED BY AND FIELD OBSERVATIONS BY THE ENGINEER. KCI TECHNOLOGIES, INC. MAKES NO CLAIMS AS TO THE COMPLETENESS OR ACCURACY OF THE PROVIDED BASE INFORMATION.



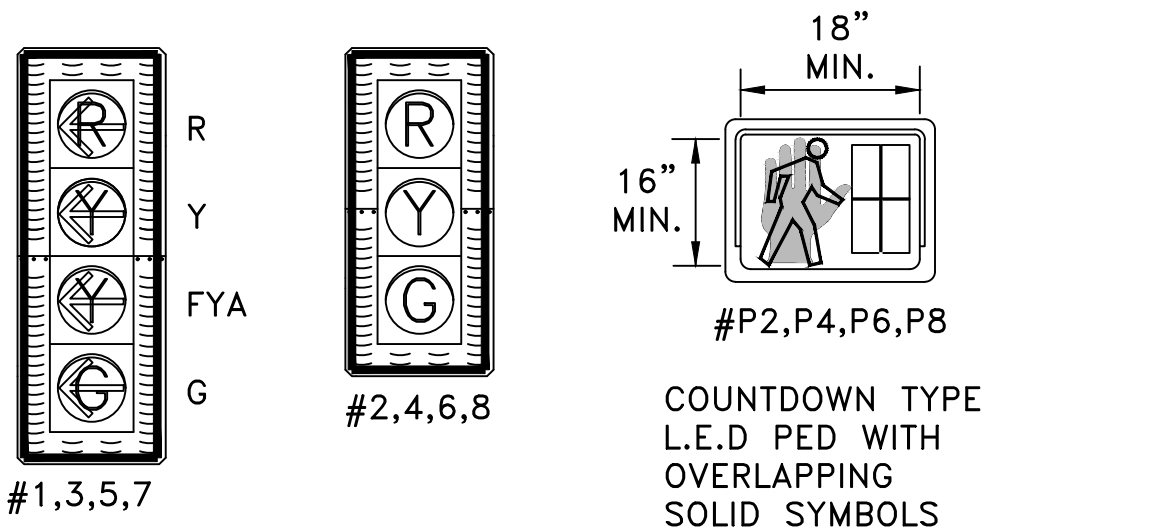
FILE NO.	892309758
DATE:	06/28/24
DESIGNED BY:	BJT
DRAWN BY:	JDE
CHECKED BY:	JMC
REVISION BLOCK	
DATE:	02/07/25
BY:	BJT
NDOT COMMENTS	



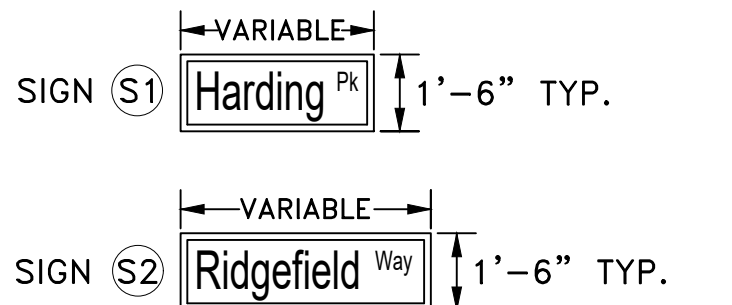
INTERSECTION NO. 3962
MEDIAN PLAN
Harding Pike at N Kenner Avenue / Kenner Avenue
SCALE: 1"=20'
SHEET 2



SIGNAL HEAD DISPLAYS



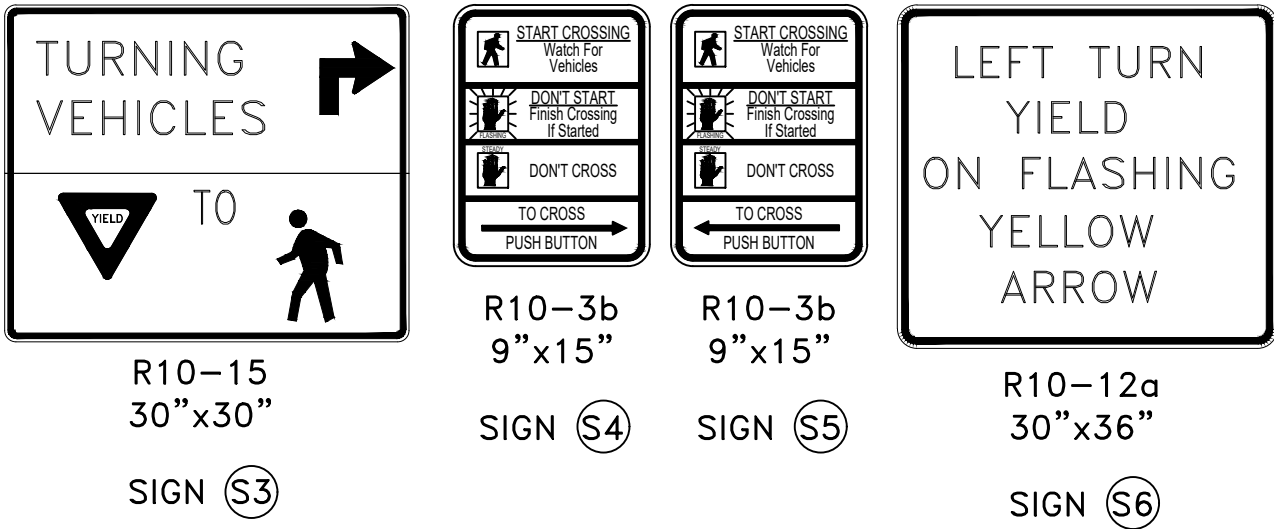
OVERHEAD STREET NAME SIGNS (SNS)



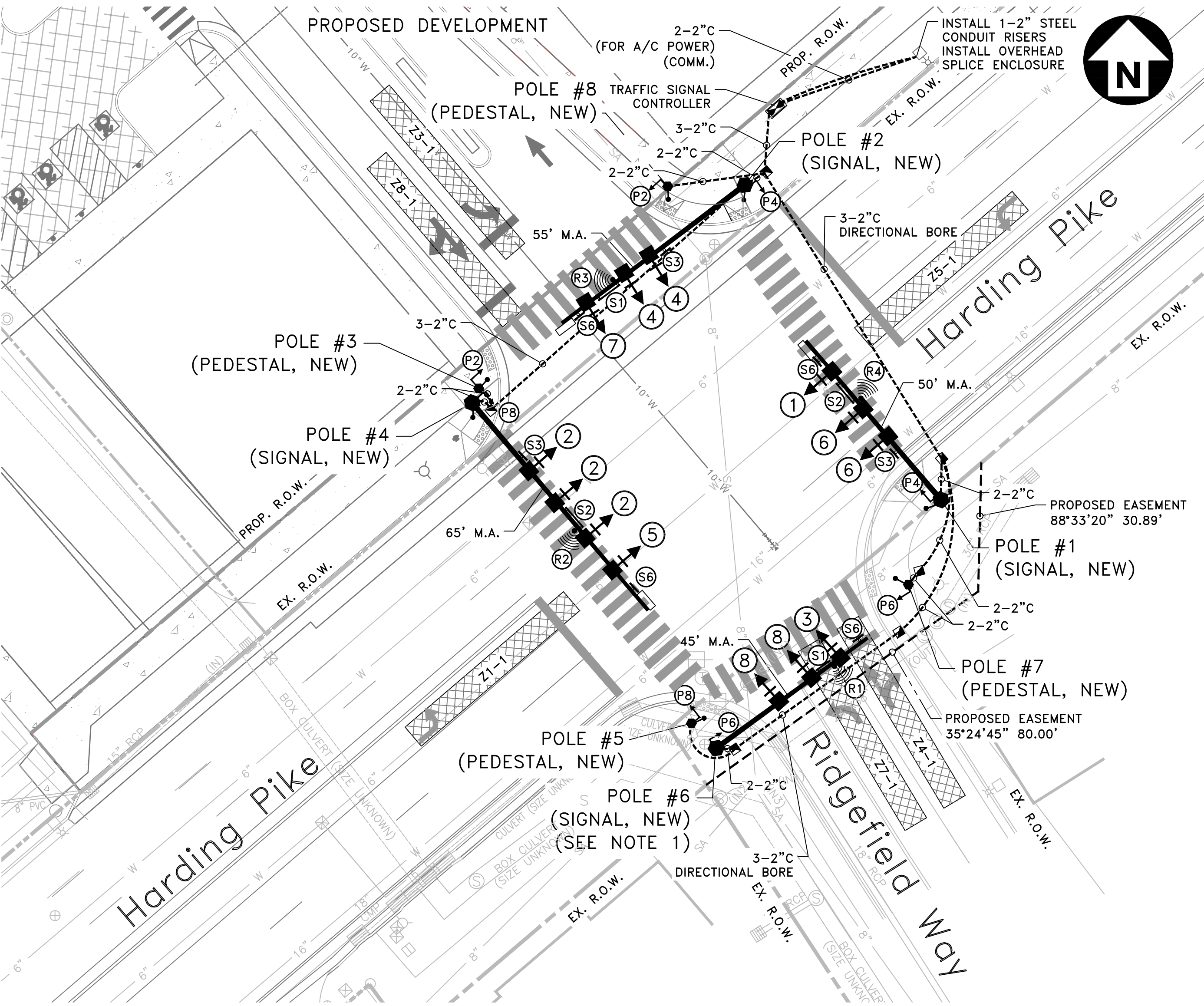
- NOTE:  
- 8" U.C. LETTERS (MINIMUM)  
- 6" L.C. LETTERS (MINIMUM)  
- HIGH INTENSITY REFLECTIVE SHEETING  
- REFLECTIVE WHITE COPY  
- GREEN BACKGROUND  
- PROVIDED BY NDOT

SNS LETTERING SHOWN FOR REFERENCE ONLY. SNS SIZE AND LETTERING TO BE COORDINATED AND DETERMINED BY NDOT PRIOR TO FABRICATION AND INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH THE CITY, FABRICATIONS, AND INSTALLATIONS OF SNS'S.

TRAFFIC SIGNS (NEW)



SPECIAL NOTE:  
THE BASE SURVEY AND DESIGN INFORMATION FOR ROADWAY AND UTILITIES PRESENTED ON THIS PLAN WERE PROVIDED TO KCI TECHNOLOGIES, INC. BY BARGE CAUTHEN. WHERE AVAILABLE, BASE INFORMATION HAS BEEN SUPPLEMENTED BY AND FIELD OBSERVATIONS BY THE ENGINEER. KCI TECHNOLOGIES, INC. MAKES NO CLAIMS AS TO THE COMPLETENESS OR ACCURACY OF THE PROVIDED BASE INFORMATION.



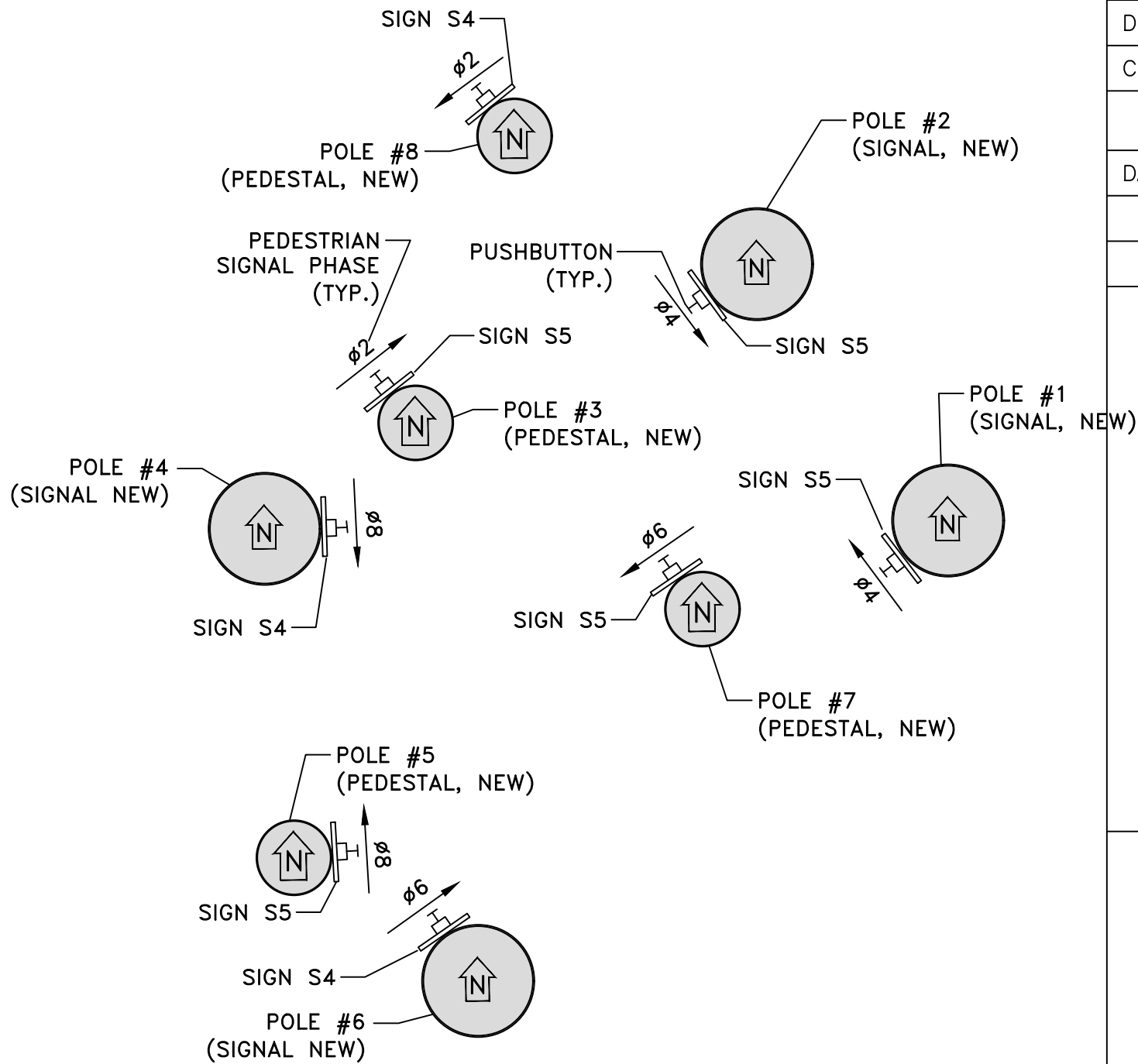
RADAR DETECTION ASSIGNMENTS

ZONE ASSIGNMENT	SIZE	RADAR	MODE	DISTANCE FROM STOP LINE
Z1-1	6'x50'	R2	PRESENCE	-5'
Z3-1	6'x50'	R3	PRESENCE	-5'
Z4-1	6'x50'	R1	PRESENCE	-5'
Z5-1	6'x50'	R4	PRESENCE	-5'
Z7-1	6'x50'	R1	PRESENCE	-5'
Z8-1	6'x50'	R3	PRESENCE	-5'

LEGEND

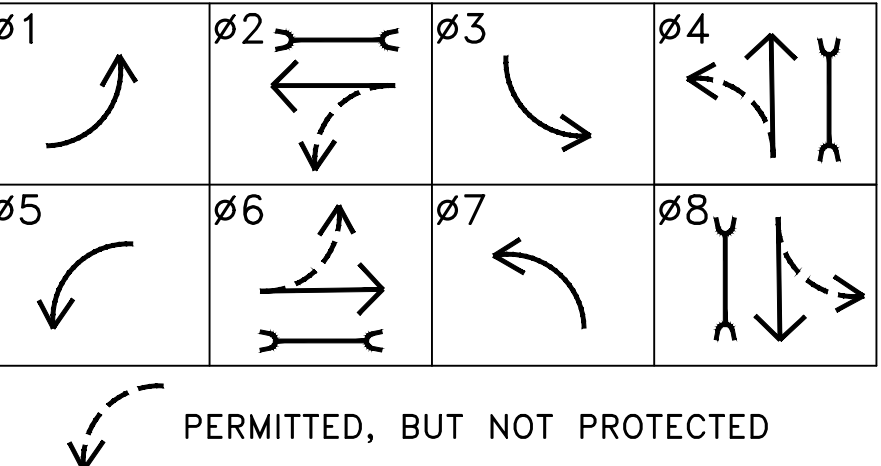
	SIGNAL SUPPORT POLE ARM (NEW)
	SIGNAL HEAD W/ NUMBER & BACK PLATE (NEW)
	PULL BOX (TYPE B, NEW)
	PEDESTRIAN PUSH BUTTON W/ SIGN (NEW)
	PAD MOUNTED TRAFFIC SIGNAL CONTROLLER (NEW)
	UNDERGROUND CONDUIT (NEW)
	OVERHEAD STREET NAME SIGN W/ NUMBER (NEW)
	POLE, MAST ARM, OR SPAN MOUNTED SIGN W/ NUMBER (NEW)
	MAST ARM MOUNTED VIBRATION DAMPENING DEVICE (NEW)
	VEHICLE DETECTION ZONE (NEW)
	RADAR DETECTION UNIT W/ NUMBER (NEW)
	PEDESTAL POLE (NEW)
	PEDESTRIAN SIGNAL HEAD W/ NUMBER (NEW)

PEDESTRIAN PUSHBUTTON ORIENTATION



REFER TO THIS DIAGRAM FOR PUSH BUTTON LOCATION AND ORIENTATION. PUSH BUTTONS SHOWN IN PLAN VIEW ARE FOR ILLUSTRATIVE PURPOSES ONLY.

PHASING DIAGRAM



- NOTES:  
1. CONTRACTOR TO FIELD VERIFY EXISTING CULVERT SIZE BEFORE PLACING THIS SIGNAL POLE.



FILE NO. 892309758  
DATE: 06/28/24  
DESIGNED BY: BJT  
DRAWN BY: JDE  
CHECKED BY: JMC

REVISION BLOCK

DATE:

KCI TECHNOLOGIES

BRANDON J. TAYLOR  
REGISTERED PROFESSIONAL ENGINEER  
NO. 11237  
STATE OF TENNESSEE  
06/28/24

NDOT

INTERSECTION NO. 3962

TRAFFIC SIGNAL PLAN

Harding Pike at  
Ridgfield Way

SCALE: 1"=20'




SHEET 4





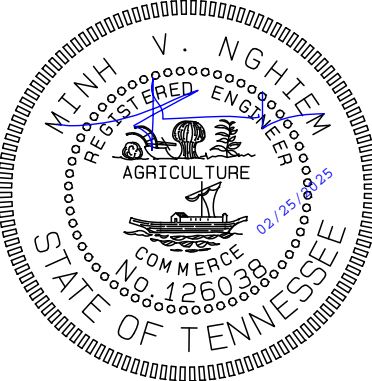
**PHASE 1 - TRAFFIC CONTROL DETAILS**

**LEGEND**

	W20-1		R9-11R		WORK ZONE
	W20-5		R9-11L		TRUCK W/ ARROW BOARD
	W4-2		R9-9		R3-2
	G20-2		TYPE 3 BARRICADE		
	R11-2		TYPE 2 BARRICADE		

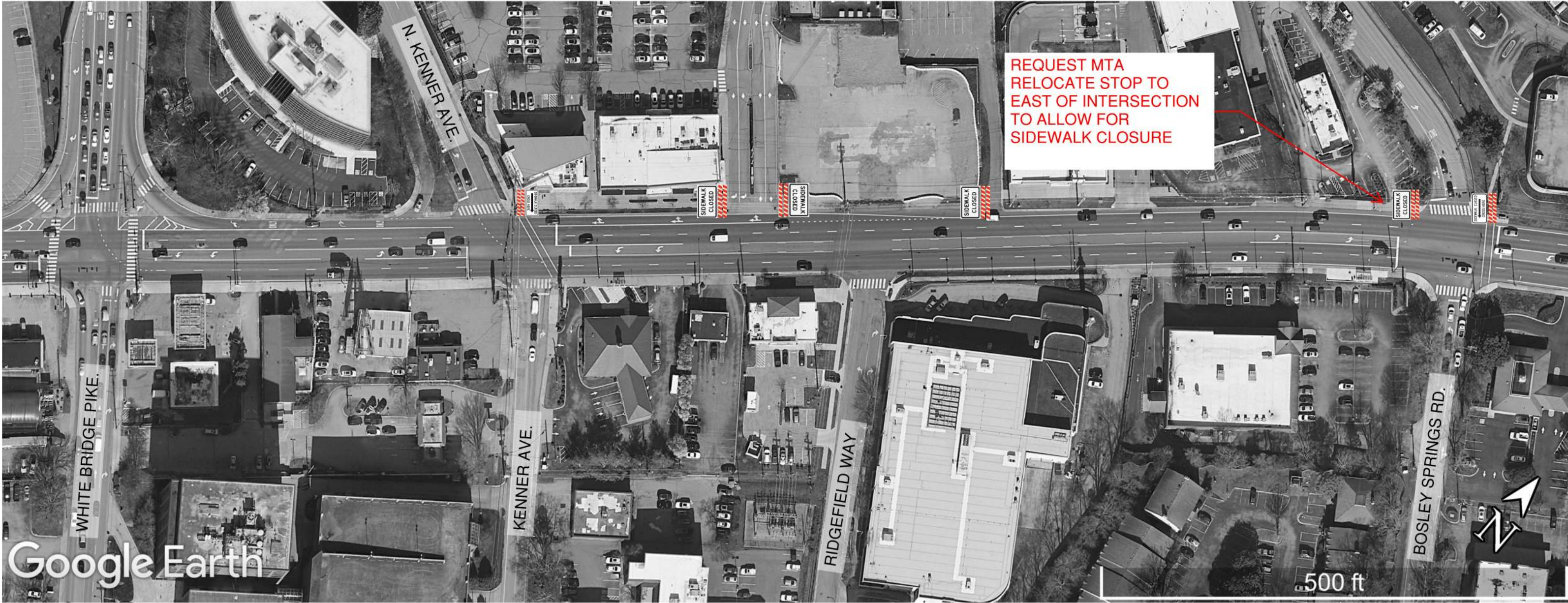
**TRAFFIC CONTROL NOTES**

1. THIS SET OF PLANS IS NOT INTENDED TO SUPERSEDE OR RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TOWARD MOTORIST OR PROPERTY OWNERS WITHIN THE CONSTRUCTION LIMITS.
2. THE CONSTRUCTION SIGNING PLAN IS TO SERVE AS A GUIDE ONLY. OTHER SIGNS MAY BE REQUIRED DURING CONSTRUCTION.
3. THE TRAFFIC CONTROL PLAN DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
4. THE APPROPRIATE TRAFFIC CONTROL SHALL BE INSTALLED AT THE INCEPTION OF EACH PHASE OF CONSTRUCTION AND SHALL BE PROPERLY MAINTAINED AND/OR OPERATED DURING THE TIME SUCH SPECIAL CONDITIONS EXIST. THEY SHALL REMAIN IN PLACE AS LONG AS THEY ARE NEEDED AND SHALL BE IMMEDIATELY REMOVED THEREAFTER.
5. WHILE MAINTAINING TRAFFIC, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE INGRESS AND EGRESS TO PROPERTY OWNERS AT ALL TIMES DURING THE COURSE OF THE CONSTRUCTION.
6. AT ALL TIMES THE ROADWAY MUST BE MAINTAINED IN A CONDITION TO ALLOW THE PASSAGE OF EMERGENCY VEHICLES AND THEIR ACCESS TO RESIDENCES AND BUSINESSES THROUGH THE CONSTRUCTION.
7. WORK HOURS AND ANY LANE CLOSURES ARE TO BE DURING PERIODS AS DETERMINED BY THE PERMITTING CITY/COUNTY/STAT




 <b>MANQ LLC</b> DESIGN-ENGINEERING-DEVELOPMENT 2522 S. KACHINA CIRCLE, TEMPE, AZ. 85282 PH: +1 (615) 602 3980 EMAIL: MVMNGHIEM@GMAIL.COM		
 <b>PANTEGON</b> COMMERCIAL SOLUTIONS		
<b>HARDING PIKE AT N KENNER AVENUE / KENNER AVENUE</b>		
DESIGNER: JD	REVIEWED BY: MN	DATE: 02/25/25
TRAFFIC CONTROL DETAILS		SHEET NO: TC1








PHASE 1 - TRAFFIC CONTROL (PEDESTRIAN DETAILS)


LEGEND


 W20-1


 W20-5R


 W20-5L


 W4-2R


 W4-2L


 R9-11R


 R9-11L


 R9-9

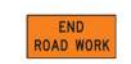
 TYPE 3 BARRICADE


 TYPE 2 BARRICADE


 WORK ZONE

 TRUCK W/ ARROW BOARD

 R11-2

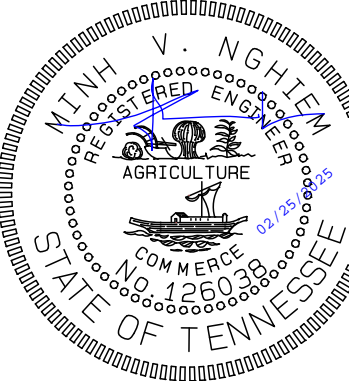
 G20-2

 R3-2

 R3-1

TRAFFIC CONTROL NOTES

1. THIS SET OF PLANS IS NOT INTENDED TO SUPERSEDE OR RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TOWARD MOTORIST OR PROPERTY OWNERS WITHIN THE CONSTRUCTION LIMITS.
2. THE CONSTRUCTION SIGNING PLAN IS TO SERVE AS A GUIDE ONLY. OTHER SIGNS MAY BE REQUIRED DURING CONSTRUCTION.
3. THE TRAFFIC CONTROL PLAN DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
4. THE APPROPRIATE TRAFFIC CONTROL SHALL BE INSTALLED AT THE INCEPTION OF EACH PHASE OF CONSTRUCTION AND SHALL BE PROPERLY MAINTAINED AND/OR OPERATED DURING THE TIME SUCH SPECIAL CONDITIONS EXIST. THEY SHALL REMAIN IN PLACE AS LONG AS THEY ARE NEEDED AND SHALL BE IMMEDIATELY REMOVED THEREAFTER.
5. WHILE MAINTAINING TRAFFIC, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE INGRESS AND EGRESS TO PROPERTY OWNERS AT ALL TIMES DURING THE COURSE OF THE CONSTRUCTION.
6. AT ALL TIMES THE ROADWAY MUST BE MAINTAINED IN A CONDITION TO ALLOW THE PASSAGE OF EMERGENCY VEHICLES AND THEIR ACCESS TO RESIDENCES AND BUSINESSES THROUGH THE CONSTRUCTION.
7. WORK HOURS AND ANY LANE CLOSURES ARE TO BE DURING PERIODS AS DETERMINED BY THE PERMITTING CITY/COUNTY/STAT



 **MANQ LLC**  
DESIGN-ENGINEERING-DEVELOPMENT  
2522 S. KACHINA CIRCLE,  
TEMPE, AZ. 85282  
PH: +1 (615) 602 3980  
EMAIL: MVNGHIEM@GMAIL.COM

**PANTEGON**  
COMMERCIAL SOLUTIONS

HARDING PIKE AT N KENNER AVENUE /  
KENNER AVENUE

DESIGNER: JD    REVIEWED BY: MN    DATE: 02/25/25










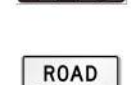






TRAFFIC CONTROL DETAILS    SHEET NO. TC2





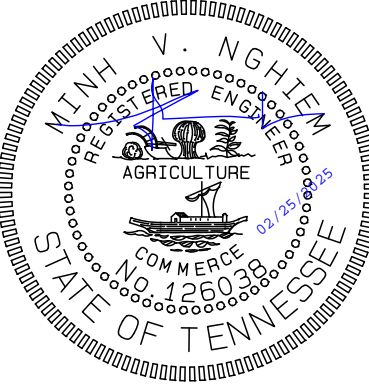
PHASE 2 - TRAFFIC CONTROL DETAILS

LEGEND

	W20-1		R9-11R		WORK ZONE		R3-1
	W20-5R		R9-11L		TRUCK W/ ARROW BOARD		
	W20-5L		R9-9		ROAD CLOSED		
	W4-2R		TYPE 3 BARRICADE		G20-2		
	W4-2L		TYPE 2 BARRICADE		R3-2		

TRAFFIC CONTROL NOTES

1. THIS SET OF PLANS IS NOT INTENDED TO SUPERSEDE OR RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TOWARD MOTORIST OR PROPERTY OWNERS WITHIN THE CONSTRUCTION LIMITS.
2. THE CONSTRUCTION SIGNING PLAN IS TO SERVE AS A GUIDE ONLY. OTHER SIGNS MAY BE REQUIRED DURING CONSTRUCTION.
3. THE TRAFFIC CONTROL PLAN DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
4. THE APPROPRIATE TRAFFIC CONTROL SHALL BE INSTALLED AT THE INCEPTION OF EACH PHASE OF CONSTRUCTION AND SHALL BE PROPERLY MAINTAINED AND/OR OPERATED DURING THE TIME SUCH SPECIAL CONDITIONS EXIST. THEY SHALL REMAIN IN PLACE AS LONG AS THEY ARE NEEDED AND SHALL BE IMMEDIATELY REMOVED THEREAFTER.
5. WHILE MAINTAINING TRAFFIC, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE INGRESS AND EGRESS TO PROPERTY OWNERS AT ALL TIMES DURING THE COURSE OF THE CONSTRUCTION.
6. AT ALL TIMES THE ROADWAY MUST BE MAINTAINED IN A CONDITION TO ALLOW THE PASSAGE OF EMERGENCY VEHICLES AND THEIR ACCESS TO RESIDENCES AND BUSINESSES THROUGH THE CONSTRUCTION.
7. WORK HOURS AND ANY LANE CLOSURES ARE TO BE DURING PERIODS AS DETERMINED BY THE PERMITTING CITY/COUNTY/STAT















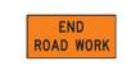




 <b>MANQ LLC</b> DESIGN-ENGINEERING-DEVELOPMENT 2522 S. KACHINA CIRCLE, TEMPE, AZ. 85282 PH: +1 (615) 602 3980 EMAIL: MVNGHIEM@GMAIL.COM		
 <b>PANTEGON</b> COMMERCIAL SOLUTIONS		
<b>HARDING PIKE AT N KENNER AVENUE / KENNER AVENUE</b>		
DESIGNER: JD	REVIEWED BY: MN	DATE: 02/25/25
TRAFFIC CONTROL DETAILS		SHEET NO. TC3





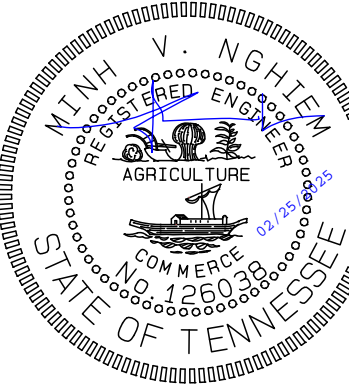
**PHASE 3 - TRAFFIC CONTROL DETAILS**

**LEGEND**

	W20-1		R9-11R		WORK ZONE		R3-1
	W20-5R		R9-11L		TRUCK W/ ARROW BOARD		
	W20-5L		R9-9		ROAD CLOSED		
	W4-2R		TYPE 3 BARRICADE		END ROAD WORK		
	W4-2L		TYPE 2 BARRICADE				R3-2

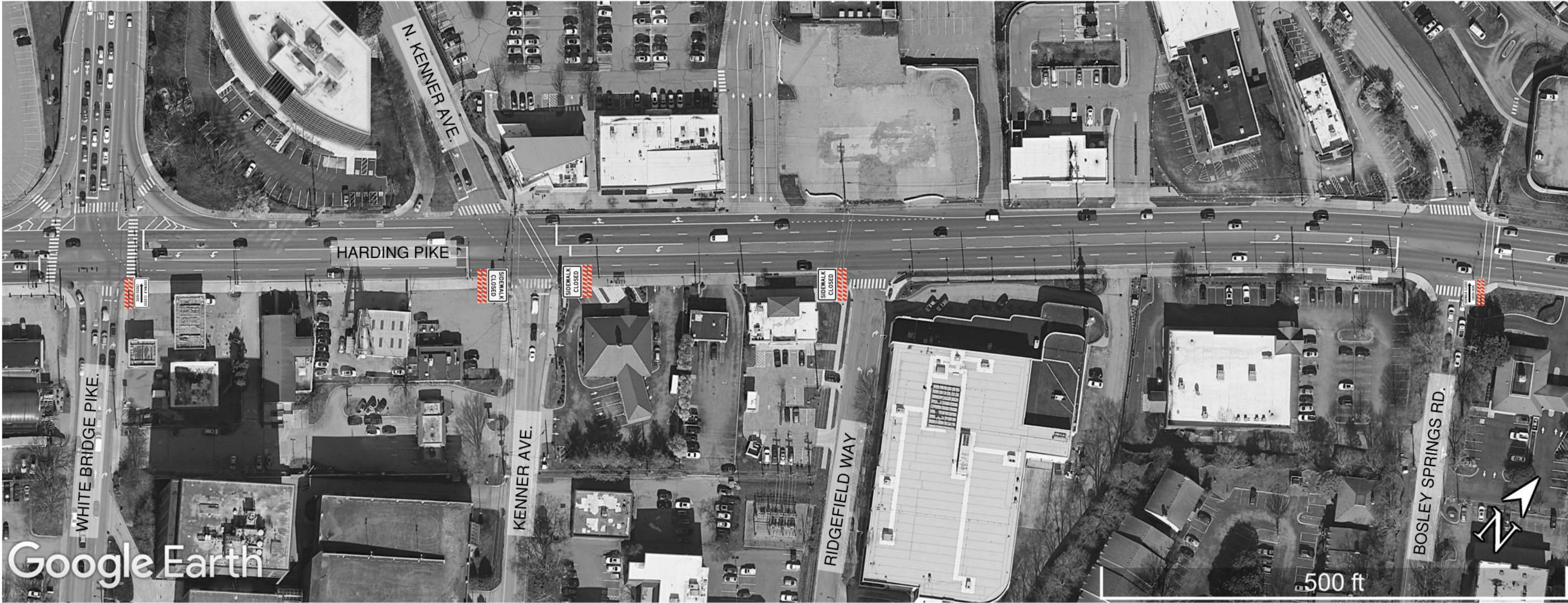
**TRAFFIC CONTROL NOTES**

1. THIS SET OF PLANS IS NOT INTENDED TO SUPERSEDE OR RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TOWARD MOTORIST OR PROPERTY OWNERS WITHIN THE CONSTRUCTION LIMITS.
2. THE CONSTRUCTION SIGNING PLAN IS TO SERVE AS A GUIDE ONLY. OTHER SIGNS MAY BE REQUIRED DURING CONSTRUCTION.
3. THE TRAFFIC CONTROL PLAN DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
4. THE APPROPRIATE TRAFFIC CONTROL SHALL BE INSTALLED AT THE INCEPTION OF EACH PHASE OF CONSTRUCTION AND SHALL BE PROPERLY MAINTAINED AND/OR OPERATED DURING THE TIME SUCH SPECIAL CONDITIONS EXIST. THEY SHALL REMAIN IN PLACE AS LONG AS THEY ARE NEEDED AND SHALL BE IMMEDIATELY REMOVED THEREAFTER.
5. WHILE MAINTAINING TRAFFIC, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE INGRESS AND EGRESS TO PROPERTY OWNERS AT ALL TIMES DURING THE COURSE OF THE CONSTRUCTION.
6. AT ALL TIMES THE ROADWAY MUST BE MAINTAINED IN A CONDITION TO ALLOW THE PASSAGE OF EMERGENCY VEHICLES AND THEIR ACCESS TO RESIDENCES AND BUSINESSES THROUGH THE CONSTRUCTION.
7. WORK HOURS AND ANY LANE CLOSURES ARE TO BE DURING PERIODS AS DETERMINED BY THE PERMITTING CITY/COUNTY/STAT





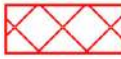



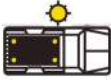









 <b>MANQ LLC</b> DESIGN-ENGINEERING-DEVELOPMENT 2522 S. KACHINA CIRCLE, TEMPE, AZ. 85282 PH: +1 (615) 602 3980 EMAIL: MVENGHIE@GMAIL.COM		
 <b>PANTEGON</b> COMMERCIAL SOLUTIONS		
<b>HARDING PIKE AT N KENNER AVENUE / KENNER AVENUE</b>		
DESIGNER: JD	REVIEWED BY: MN	DATE: 02/25/25
TRAFFIC CONTROL DETAILS		SHEET NO. TC4





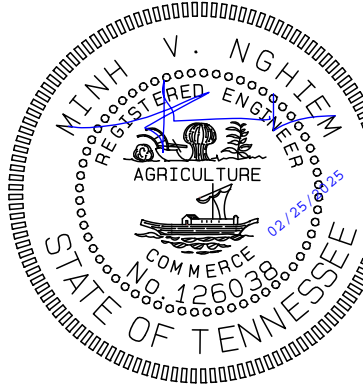
PHASE 2/3 - TRAFFIC CONTROL (PEDESTRIAN DETAILS)

LEGEND

	W20-1		R9-11R		WORK ZONE		R3-1
	W20-5R		R9-11L		TRUCK W/ ARROW BOARD		
	W20-5L		R9-9		ROAD CLOSED		
	W4-2R		TYPE 3 BARRICADE		END ROAD WORK		
	W4-2L		TYPE 2 BARRICADE				R3-2

TRAFFIC CONTROL NOTES

1. THIS SET OF PLANS IS NOT INTENDED TO SUPERSEDE OR RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TOWARD MOTORIST OR PROPERTY OWNERS WITHIN THE CONSTRUCTION LIMITS.
2. THE CONSTRUCTION SIGNING PLAN IS TO SERVE AS A GUIDE ONLY. OTHER SIGNS MAY BE REQUIRED DURING CONSTRUCTION.
3. THE TRAFFIC CONTROL PLAN DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
4. THE APPROPRIATE TRAFFIC CONTROL SHALL BE INSTALLED AT THE INCEPTION OF EACH PHASE OF CONSTRUCTION AND SHALL BE PROPERLY MAINTAINED AND/OR OPERATED DURING THE TIME SUCH SPECIAL CONDITIONS EXIST. THEY SHALL REMAIN IN PLACE AS LONG AS THEY ARE NEEDED AND SHALL BE IMMEDIATELY REMOVED THEREAFTER.
5. WHILE MAINTAINING TRAFFIC, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE INGRESS AND EGRESS TO PROPERTY OWNERS AT ALL TIMES DURING THE COURSE OF THE CONSTRUCTION.
6. AT ALL TIMES THE ROADWAY MUST BE MAINTAINED IN A CONDITION TO ALLOW THE PASSAGE OF EMERGENCY VEHICLES AND THEIR ACCESS TO RESIDENCES AND BUSINESSES THROUGH THE CONSTRUCTION.
7. WORK HOURS AND ANY LANE CLOSURES ARE TO BE DURING PERIODS AS DETERMINED BY THE PERMITTING CITY/COUNTY/STAT



**MANQ LLC**  
DESIGN-ENGINEERING-DEVELOPMENT  
2522 S. KACHINA CIRCLE,  
TEMPE, AZ. 85282  
PH: +1 (615) 602 3980  
EMAIL: MVMNGHIEM@GMAIL.COM

**PANTEGON**  
COMMERCIAL SOLUTIONS

HARDING PIKE AT N KENNER AVENUE /  
KENNER AVENUE

DESIGNER: JD REVIEWED BY: MN DATE: 02/25/25

TRAFFIC CONTROL DETAILS

SHEET NO:  
TC5



Figure 6B-1. Component Parts of a Temporary Traffic Control Zone

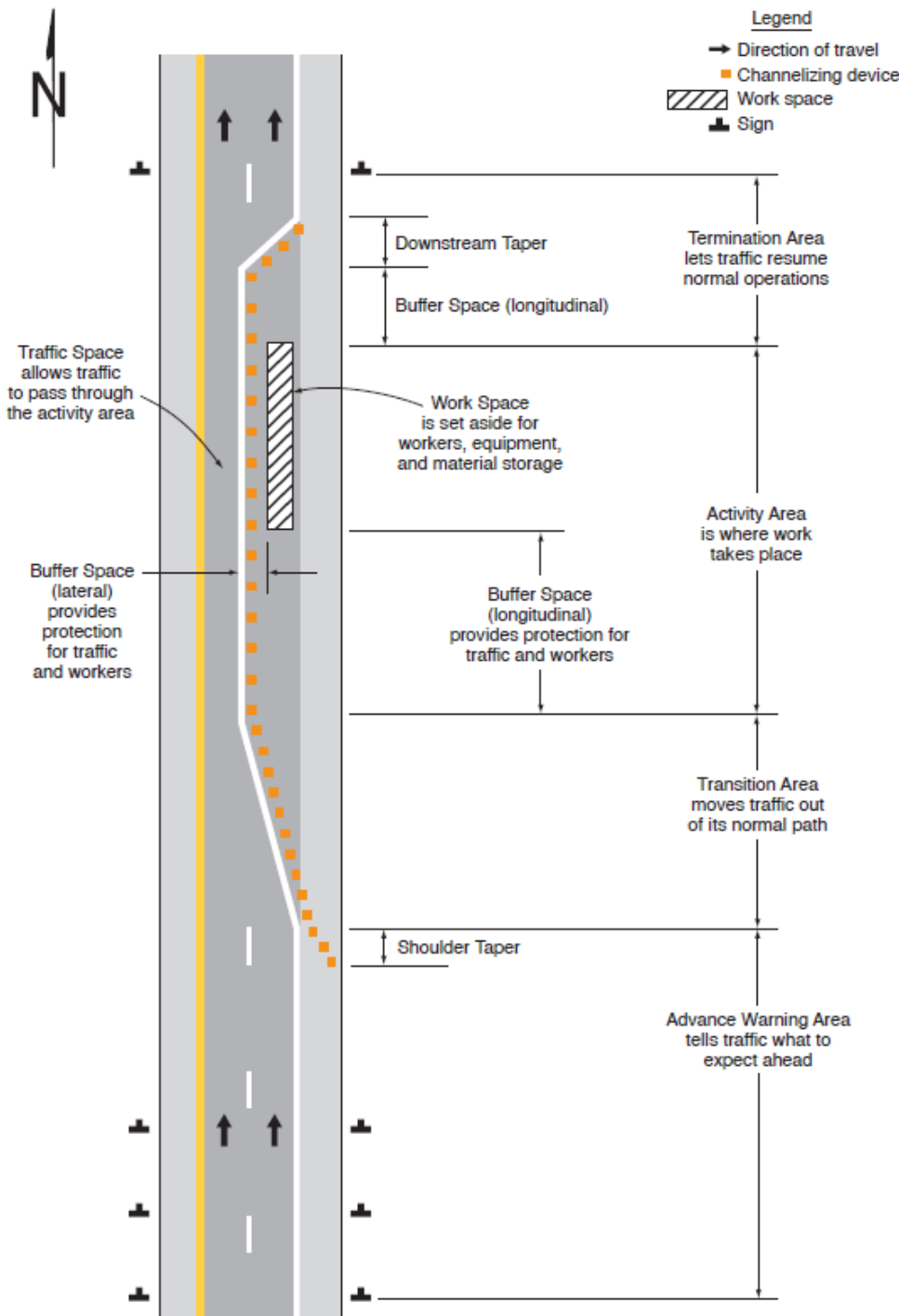


Table 6B-1. Recommended Advance Warning Sign Minimum Spacing

Road Type	Distance between Signs**		
	A	B	C
Urban (low speed)*	100 feet	100 feet	100 feet
Urban (high speed)*	350 feet	350 feet	350 feet
Rural	500 feet	500 feet	500 feet
Expressway / Freeway	1,000 feet	1,500 feet	2,640 feet

\* Speed category to be determined by the highway agency or owner of site roadways open to public travel.

\*\* The column headings A, B, and C are the dimensions shown in Figures 6P-1 through 6P-54. The A dimension is the distance from the transition or point of restriction to the first sign. The B dimension is the distance between the first and second signs. The C dimension is the distance between the second and third signs. (The "first sign" is the sign in a three-sign series that is closest to the TTC zone. The "third sign" is the sign that is furthest upstream from the TTC zone.)

Table 6B-3. Taper Length Criteria for Temporary Traffic Control Zones

Type of Taper	Taper Length
Merging Taper	at least L
Shifting Taper	at least 0.5 L
Shoulder Taper	at least 0.33 L
One-Lane, Two-Way Traffic Taper	50 feet minimum, 100 feet maximum
Downstream Taper	50 feet minimum, 100 feet maximum

Note: Use Table 6B-4 to calculate L

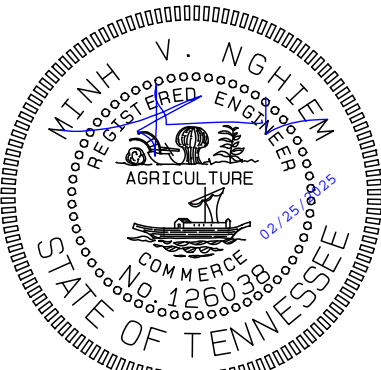
Table 6B-4. Formulas for Determining Taper Length

Speed (S)	Taper Length (L) in feet
40 mph or less	$L = \frac{WS^2}{60}$
45 mph or more	$L = WS$

Where: L = taper length in feet  
W = width of offset in feet  
S = posted speed limit, or off-peak 85th-percentile speed prior to work starting, or the anticipated operating speed in mph

TRAFFIC CONTROL NOTES

1. THIS SET OF PLANS IS NOT INTENDED TO SUPERSEDE OR RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TOWARD MOTORIST OR PROPERTY OWNERS WITHIN THE CONSTRUCTION LIMITS.
2. THE CONSTRUCTION SIGNING PLAN IS TO SERVE AS A GUIDE ONLY. OTHER SIGNS MAY BE REQUIRED DURING CONSTRUCTION.
3. THE TRAFFIC CONTROL PLAN DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
4. THE APPROPRIATE TRAFFIC CONTROL SHALL BE INSTALLED AT THE INCEPTION OF EACH PHASE OF CONSTRUCTION AND SHALL BE PROPERLY MAINTAINED AND/OR OPERATED DURING THE TIME SUCH SPECIAL CONDITIONS EXIST. THEY SHALL REMAIN IN PLACE AS LONG AS THEY ARE NEEDED AND SHALL BE IMMEDIATELY REMOVED THEREAFTER.
5. WHILE MAINTAINING TRAFFIC, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE INGRESS AND EGRESS TO PROPERTY OWNERS AT ALL TIMES DURING THE COURSE OF THE CONSTRUCTION.
6. AT ALL TIMES THE ROADWAY MUST BE MAINTAINED IN A CONDITION TO ALLOW THE PASSAGE OF EMERGENCY VEHICLES AND THEIR ACCESS TO RESIDENCES AND BUSINESSES THROUGH THE CONSTRUCTION.
7. WORK HOURS AND ANY LANE CLOSURES ARE TO BE DURING PERIODS AS DETERMINED BY THE PERMITTING CITY/COUNTY/STAT



**MANQ LLC**  
DESIGN-ENGINEERING-DEVELOPMENT  
2522 S. KACHINA CIRCLE,  
TEMPE, AZ, 85282  
PH: +1 (602) 602 3980  
EMAIL: MYNGHIEM@GMAIL.COM

**PANTEGON**  
COMMERCIAL SOLUTIONS

HARDING PIKE AT N KENNER AVENUE /  
KENNER AVENUE

DESIGNER: JD    REVIEWED BY: MN    DATE: 02/25/25

TRAFFIC CONTROL DETAILS

PROJECT NO.  
TCE